

# **COMMUNITY OF WESTWOOD**

## **DESIGN GUIDELINES**

*Prepared by*

Lassen County Department of Community Development

Approved by

Lassen County Board of Supervisors on June 22, 2004

RESOLUTION OF THE LASSEN COUNTY BOARD OF SUPERVISORS AMENDING THE COMMUNITY OF WESTWOOD DESIGN GUIDELINES, FILE 856.02.02, LASSEN COUNTY

WHEREAS, Lassen County Code Section 18.118.040 (Design Review) states that appropriate guidelines may be formulated for the purpose of reviewing projects requiring approval of a design review application; and

WHEREAS, policies stated within the Community Character Element of the Westwood/Clear Creek Area Plan and the Westwood Revitalization Plan direct that design guidelines be prepared to promote the design qualities and fulfill the design objectives of the Community of Westwood; and

WHEREAS, the Planning Commission of Lassen County, after due notice, has considered the Design Guidelines for the Community of Westwood as presented by staff, and has solicited comments on these Guidelines from the Community; and

WHEREAS, the Board of Supervisors of Lassen County, after due notice and a public hearing held June 28, 2016 has considered amendments to the Guidelines as presented, including the recommendation of the Planning Commission, and has solicited comments on these Guidelines from the Community; and

WHEREAS, The Environmental Review Officer of Lassen County has determined that the Design Guidelines prepared for the Community of Westwood are exempt from the California Environmental Quality Act, pursuant to Section 15061 (b)(3) of the Guidelines.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

1. The foregoing recitals are true and correct.
2. The Lassen County Board of Supervisors finds the Design Guidelines for the Community of Westwood properly implement the policies and goals stated within the Community Character Element of the Draft *Westwood/Clear Creek Area Plan* and the *Westwood Revitalization Plan*.
3. The Board of Supervisors hereby concurs with the Environmental Review Officer that the project qualifies for exemption, pursuant to Section 15061 (b)(3) of the California Environmental Quality Act Guidelines.
4. The Board of Supervisors hereby amends the roof pitch requirement found on page 7 (Section II, Building Design Guidelines, Roofs) of the *Community of Westwood Design* Guideline to read as follows: "Roofs for new buildings shall not have less than a 6:12 slope, unless otherwise approved through the design review."

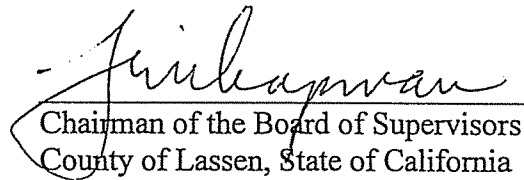
The foregoing resolution was adopted at a regular meeting of the Lassen County Board of Supervisors of the County of Lassen, State of California, held on the 28 th day of June 2016 by the following vote:

AYES: Supervisors Chapman, Pyle, Hemphill, Albaugh and Hammond

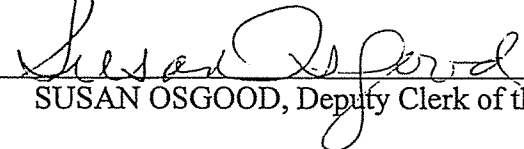
NOES: None

ABSTAIN: None

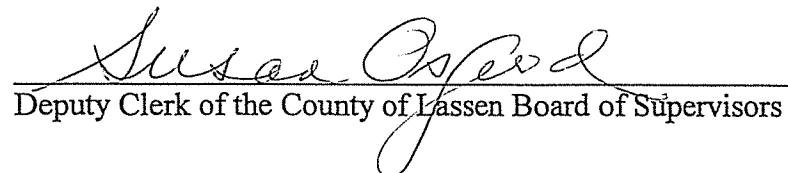
ABSENT: None

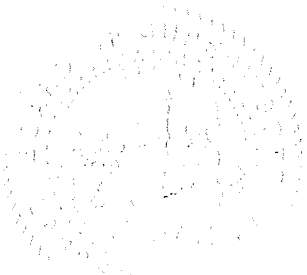
  
Chairman of the Board of Supervisors  
County of Lassen, State of California

ATTEST:  
JULIE BUSTAMANTE  
Clerk of the Board

BY   
SUSAN OSGOOD, Deputy Clerk of the Board

I, SUSAN OSGOOD, Deputy Clerk of the Board of the Board of Supervisors, County of Lassen, do hereby certify that the foregoing resolution was adopted by the said Board of Supervisors at a regular meeting thereof held on the 28 th day of June, 2016.

  
Deputy Clerk of the County of Lassen Board of Supervisors



RESOLUTION NO. 09-051

RESOLUTION OF THE LASSEN COUNTY BOARD OF SUPERVISORS AMENDING THE DESIGN GUIDELINES FOR THE COMMUNITY OF WESTWOOD, FILE 856.02, LASSEN COUNTY

WHEREAS, Lassen County Code Section 18.118.040 (Design Review) states that appropriate guidelines may be formulated for the purpose of reviewing projects requiring approval of a design review application; and

WHEREAS, policies stated within the Community Character Element of the *Westwood/Clear Creek Area Plan, 2002* direct that design guidelines be prepared to promote the design qualities and fulfill the design objectives of the Community of Westwood; and

WHEREAS, the Lassen County Board of Supervisors adopted the Westwood Design Guidelines on June 22, 2004, (through Resolution No. 04-034); and

WHEREAS, The Board of Supervisors directed staff to hold a public meeting in Westwood to solicit input from the community in regard to the need to amend the Westwood Design Guidelines; and

WHEREAS, staff held a public meeting at the Community Center in Westwood on June 17, 2009, in regard to amending the Westwood Design Guidelines and did recommend that the Westwood Design Guidelines be modified to allow for a case-by-case review of accessory structures and associated roof pitch; and

WHEREAS, the Planning Commission of Lassen County, after due notice, and a public hearing held August 5, 2009, has adopted Resolution No. 8-03-09, recommending that the Lassen County Board of Supervisors amend the Design Guidelines for the Community of Westwood to allow for a case-by-case review of accessory structures and associated roof pitch; and

WHEREAS, the Board of Supervisors of Lassen County, after due notice and a public hearing held September 15, 2009, has considered amendments to the Guidelines as presented, including the recommendation of the Planning Commission, and has solicited comments on these Guidelines from the Community; and

WHEREAS, The Environmental Review Officer of Lassen County has determined that the Design Guidelines prepared for the Community of Westwood qualifies for a categorical exemption, pursuant to the California Environmental Quality Act Guidelines Section 15308.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

1. The foregoing recitals are true and correct.
2. The Lassen County Board of Supervisors finds that the Design Guidelines, as amended, for the Community of Westwood properly implement the policies and goals stated within the Community Character Element of the *Westwood/Clear Creek Area Plan, 2002*.

3. The Board of Supervisors hereby concurs with the Environmental Review Officer that the project qualifies for exemption, pursuant to Section 15308 of the California Environmental Quality Act Guidelines.
4. The Board of Supervisors hereby amends the roof pitch requirement found on page 7 (Section II, Building Design Guidelines, Accessory Structures) of the Westwood Design Guidelines to add a section to read as follows: "Roofs for new accessory structures shall not have less than a 6:12 slope, unless otherwise approved through design review."


The foregoing resolution was adopted at a regular meeting of the Lassen County Board of Supervisors of the County of Lassen, State of California, held on the 15<sup>th</sup> day of September, 2009, by the following vote:

AYES: Supervisors Keefer, Pyle, Chapman, Dahle and Hanson


NOES: None

ABSTAIN: None

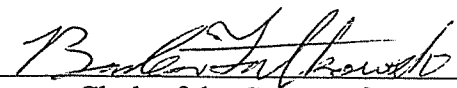
ABSENT: None

  
Chairman of the Board of Supervisors  
County of Lassen, State of California

ATTEST:  
JULIE BUSTAMANTE  
Clerk of the Board

BY   
~~SUSAN KOSGOOD~~, Deputy Clerk of the Board  
Baden Falkowski,

~~Baden Falkowski,~~  
I, ~~SUSAN KOSGOOD~~, Deputy Clerk of the Board of Supervisors, County of Lassen, do hereby certify that the foregoing resolution was adopted by the said Board of Supervisors at a regular meeting thereof held on the 15<sup>th</sup> day of September, 2009.

  
Deputy Clerk of the County of Lassen Board of Supervisors

# **COMMUNITY OF WESTWOOD**

## **DESIGN GUIDELINES**

*Prepared by*

Lassen County Department of Community Development

Approved by

Lassen County Board of Supervisors on June 22, 2004

RESOLUTION OF THE LASSEN COUNTY BOARD OF SUPERVISORS ADOPTING DESIGN GUIDELINES FOR THE COMMUNITY OF WESTWOOD, PROJECT FILE #856.02, LASSEN COUNTY.

WHEREAS, Lassen County Code Section 18.118.040 (Design Review) states that appropriate guidelines may be formulated for the purpose of reviewing projects requiring approval of a design review application; and

WHEREAS, policies stated within the Community Character Element of the *Westwood/Clear Creek Area Plan* and the *Westwood Revitalization Plan* direct that design guidelines be prepared to promote the design qualities and fulfill the design objectives of the Community of Westwood; and

WHEREAS, Community Development staff has worked closely with the Westwood Community in developing and refining the Guidelines, which cooperative effort culminated in community consensus at a public workshop on March 30, 2004, in support of the Guidelines; and

WHEREAS, following its May 5, 2004 public meeting on the Guidelines, the Planning Commission recommended by Resolution No. 5-10-04 that the Design Guidelines for the Community of Westwood be adopted; and

WHEREAS, the Board of Supervisors of Lassen County, after due notice, has considered the Design Guidelines for the Community of Westwood as presented, including the recommendation of the Planning Commission, and has solicited comments on these Guidelines from the Community; and

WHEREAS, The Environmental Review Officer of Lassen County has determined that the Design Guidelines prepared for the Community of Westwood qualifies for categorical exemption, pursuant to the California Environmental Quality Act Guidelines Section 15308.

NOW, THEREFORE, BE IT RESOLVED AS FOLLOWS:

1. The foregoing recitals are true and correct.
2. The Lassen County Board of Supervisors finds that the Design Guidelines for the Community of Westwood properly implements the goals and policies within the Community Character Element of the *Westwood/Clear Creek Area Plan* and the *Westwood Revitalization Plan*, and represents the consensus of the Westwood Community.
3. The Board of Supervisors hereby adopts the Design Guidelines for the Community of Westwood, as described in Exhibit A attached hereto.


PASSED AND ADOPTED at a regular meeting of the Board of Supervisors of the County of Lassen, State of California, on the 22nd day of June, 2004, by the following vote:

AYES: Supervisors Hanson, Pyle, Chapman, Keefer, Dahle

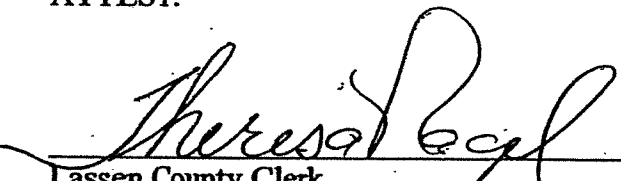
NOES: None

ABSTAIN: None

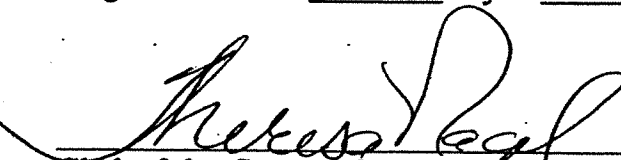
ABSENT: None

  
\_\_\_\_\_  
Chairman  
Lassen County Board of Supervisors

ATTEST:

  
\_\_\_\_\_  
Lassen County Clerk

I, THERESA NAGEL, Clerk of the County of Lassen, State of California, and ex-officio Clerk of the Board of Supervisors thereof, do hereby certify that the foregoing resolution was adopted by said Board of Supervisors at a regular meeting thereof on the 22nd day of June 2004.

  
\_\_\_\_\_  
Clerk of the County of Lassen, State of California  
and ex-officio Clerk of the Board of Supervisors



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## **PURPOSE:**

1. **Provide direction to the public as well as establish criteria for review of projects.**  
The purpose of the design guidelines is to provide a clear set of design policies to help developers, builders, and the public in general understand, appreciate, and fulfill the design qualities and objectives being encouraged within the Westwood/Clear Creek Planning Area. These guidelines also provide the primary design criteria which County Staff, Architectural Review Committee, Planning Commission, and the Board of Supervisors will use to evaluate project proposals during the review and approval process.
2. **Implement the Community Character Element of Westwood/Clear Creek Area Plan, the Westwood Revitalization Plan, and provide direction to enhance Westwood's visual form which is comprised of natural and man made components.** These Guidelines provide that the appearance of structures will support the visual resource goals of the area and ensure that buildings, signs and other development within this area are designed and constructed so as not to be unsightly, undesirable, or obnoxious in appearance to the extent that they will hinder the orderly and harmonious development and appearance of the neighborhood.
3. **Preserve and enhance the historic milltown character of downtown Westwood.**  
These guidelines require that new structures and alterations to existing structures in commercial districts be designed with consideration for preserving and enhancing the historic milltown character of Westwood. These guidelines provide a means of helping people assess how proposals are consistent with this design theme.
4. **Articulate the design preferences and expectations of the Westwood Community.** The text identifies the Community's design preferences. Applications submitted are expected to incorporate these preferences.
5. **These design guidelines take the lead in design related issues.** Lassen County has many documents that address design such as: the General Plan, Area Plan, and the Zoning Code. These documents are typically more general in nature than the Design Guidelines contained herein. The guidelines are more focused on design and more specific. The guidelines shall take the lead on design issues, but they need to be used in conjunction with other County regulations.

These guidelines are intended to be reviewed periodically and modified as needed to maintain their relevancy and improve their effectiveness in use. Comments and suggestions regarding this document are welcomed. They should be forwarded to:

Department of Community Development  
County of Lassen County  
707 Nevada Street, Suite 5  
Susanville, CA 96130  
Phone No. (530) 251-8269  
Email: [landuse@co.lassen.ca.us](mailto:landuse@co.lassen.ca.us)

## **I. SITE DEVELOPMENT GUIDELINES**

### **GOALS**

- To provide and maintain a pedestrian-friendly environment that encourages visitors.
- To ensure new land uses are compatible with existing development, and the goals and vision of the Westwood Community.

### **A. PLACEMENT OF STRUCTURES**

#### **Residences**

Orient the elements of the residences which provide outward signs of habitation, such as; the front door, windows, porches and balconies, towards the street.

Place infill homes on the lot in consideration of maintaining privacy between the new home and the surrounding existing homes.

#### **Garages and Carports**

Garages and/or Carports are encouraged but not required for off-street parking. The design should complement the roof line of the main buildings on site.

#### **Roofing**

Roofing of all structures should be designed or oriented on the site to not dump snow on other buildings, adjacent properties, or on sidewalks.

#### **Commercial Buildings**

Building setbacks from side and front property lines should be similar to the adjacent building(s).

#### **Commercial/Industrial Buildings**

Mitigate noise impacts through placement of buildings and sound barriers as needed, particularly when commercial or industrial uses are adjacent to residential neighborhoods. Refer to the County's Noise Element for noise limits.

## B. LANDSCAPING

### Landscape Plan

All requests for new construction within commercial and industrial districts shall contain a landscape plan showing, at a minimum, location of existing trees, the location of any trees to be removed, proposed planting and irrigation detail.

### Removal/Replacement of Trees and Vegetation

The removal of trees along the street is prohibited unless the tree is in danger of falling, diseased, not consistent with an approved landscape plan or an adopted area-wide plan, or otherwise creates a safety concern.

A replacement tree should be planted in the same relative location as the tree that was removed; or, if removed to facilitate development, at a location on the same property as the tree that is removed.

### Industrial Uses

Screen landscaping and a buffer area should be provided when industrial uses are adjacent to a different land use designation or a public street.

## II. BUILDING DESIGN GUIDELINES

### GOALS

- To enhance and preserve the architectural features of Westwood.

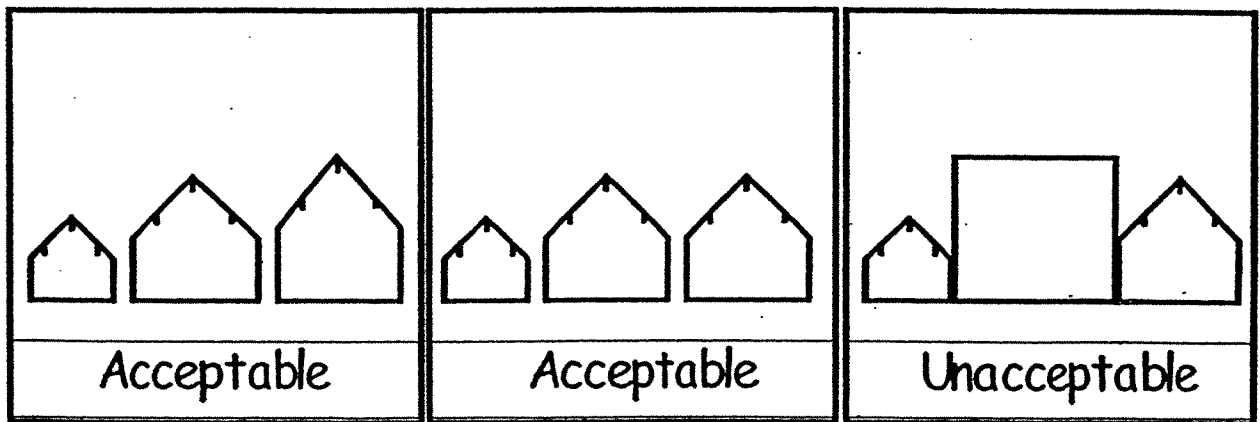
### A. GENERAL

#### Building Scale and Shapes

No building shall be permitted in which the design or exterior appearance is of such an unorthodox or abnormal character in relation to the surroundings as to be unsightly or offensive to generally accepted tastes.

“A-Frames”, Geodesic Domes, Yurts, or other structures with shapes not consistent with the shapes of aesthetically appropriate or design preferred buildings in the community are not allowed.

The scale of new construction should be consistent with the scale of adjacent buildings (See Figure 1).



**Figure 1. Building size, placement and shape is important to the character of Westwood.**

Along Ash and Birch Streets, between 3<sup>rd</sup> and 5<sup>th</sup> streets, buildings should be a minimum of two stories. When two stories are not proposed, the building design should incorporate the use of an attic with loft windows similar to the main building, and be constructed in a manner that would allow for a second story addition in the future.

Buildings should not be over two stories in height within the Central Business Area.

#### Garages and Carports

Garages and carports should be no more than 75% of the width of the home if facing the front yard.

#### Building Facades/Details

Buildings should not be stylized or ornamented in a garish and conspicuous manner in order to call attention to themselves without regard for the context of the surrounding neighborhood.

#### Windows

Windows should not be covered by being blocked, painted over, boarded up, latticed or treated with any material giving such an appearance.

### Awnings

Awnings should be designed to shed snow or be removable for storage during the winter months.

### Roofs

Roofs for new buildings shall not have less than a 6:12 slope, unless otherwise approved through the design review (Res. 16-034, 2016; Res. 09-051, 2009).

### Accessory Structures

Accessory structures should be designed with an architectural treatment that is complementary to the main building in terms of materials, detailing, and colors.

### Duplexes and Multifamily Dwellings

Duplexes and Multifamily dwellings should be designed to resemble single family homes or cottages with individual entries. Repetitive building designs should not be used.

### Commercial Buildings

*Note: The following guidelines apply only to commercial buildings and do not apply to residential structures.*

Franchise or corporate style architecture and/or highly contrasting color schemes are discouraged. A new free standing building shall be sited and designed to be compatible with the character of the surrounding neighborhood. If the building will occupy a pad within a shopping center, the building shall be designed to be consistent with the “theme” or design of the center.

Free-standing buildings shall be designed and detailed consistently on all sides, including the rear and side elevation.

Accessory structures, outdoor seating areas, and perimeter fencing shall be reviewed for compatible and attractive design that is integrated with the main building architecture.

Trash enclosures and other service spaces shall be constructed of materials and finishes which are consistent with the main building. Trash enclosures shall be oriented on site to minimize visibility to customers and the public.

### Central Business Area

Facades of new or remodeled buildings should retain the continuity of existing aesthetically appropriate or design preferred buildings within the community.

Storefront designs that resemble architectural styles not found historically within Westwood are discouraged.

The front entrance of the building should be the focal point of the building and accented with wide trim and accent color.

New buildings should include covered porches, or recessed entries to emulate the covered porch.

Any second floor should have similar windows to the ground floor. Attic space should have a window or faux window/vent.

Windows and doors should be vertical in their expression and spaced along the facade to avoid the appearance of a sheer glass wall.

### Industrial Buildings

Within industrial areas, pre-manufactured buildings are to avoid the generic, off-the shelf appearance. The use of a typical utilitarian design with an exposed low, pitch (2:12) roof, no overhang, single color, flat walls, and unorganized window openings is discouraged. If these building are to be used, one of the following design approaches should be employed:

- a. The low pitch roofs should be hidden behind a parapet, or;
- b. The roof pitch should be increased to a minimum of 4:12 and the overhangs should be commensurate with the scale of the building (e.g., 3 to 4 foot overhangs on a 14' eave height).
- c. Include features such as; offsets in the wall planes, recessed entry areas, metal canopies, several colors, accent color bands, multiple siding profiles.
- d. Roof structures over entry ways should be designed to dump snow away from pedestrian traffic and walkways.

## **B. MATERIALS**

### Building Exterior

Although the use of traditional materials in new construction and building renovation is encouraged, alternate materials may be used, provided that the exterior appearance of the building resembles traditional materials.

Accessory structures should be designed with an architectural treatment that derives from the main building in terms of materials, detailing, and colors.

### Siding

Wood, stone, or brick siding is considered traditional and is the preferred material; however alternate materials (e.g. steel, concrete, vinyl) may be used provided that the exterior appearance resembles traditional materials. Cinder and concrete block materials are not a preferred siding material.



For buildings within the Central Business Area, horizontal wood lap siding is the preferred design and material. Alternate materials may be used provided that the exterior appearance resembles wood lap siding once installed. Brick accents, for patios, walkways, fireplaces and similar supporting architectural or landscape features, are acceptable. Plywood or similar appearing panel siding is discouraged due to maintenance requirements and overall appearance.

#### Windows/Doors

Shiny metal-framed windows and doors are not allowed within the Central Business Area and should be avoided in other areas. A wood or natural appearing window and door is more appropriate.

#### Roofs/Coverings

Metal roofs shall not be reflective.

Porch coverings should complement materials of the building to which it is associated.

### C. COLORS

Buildings should not be painted in florescent, luminescent, or other extreme colors which detract from the appearance of the neighboring property and the community as a whole.

Accessory structures should be designed with an architectural treatment that derives from the main building in terms of materials, detailing, and colors.

#### Commercial Districts

The proposed building design and colors should enhance the visual character of the environment and the historic character of the district, and should strive to complement other buildings consistent with the historic theme. Natural stained wood, earth tone, and off-white are acceptable colors within commercial districts. Other colors may be found to be acceptable upon design review.

The colors of the roof, siding, porch, awnings, and trim of the building should complement each other.

Utilities such as drainpipes, utility boxes, etc., should be the same color as the main body of the building to help "hide" the utilities within the main color.

### III. SPECIAL DESIGN CONSIDERATIONS

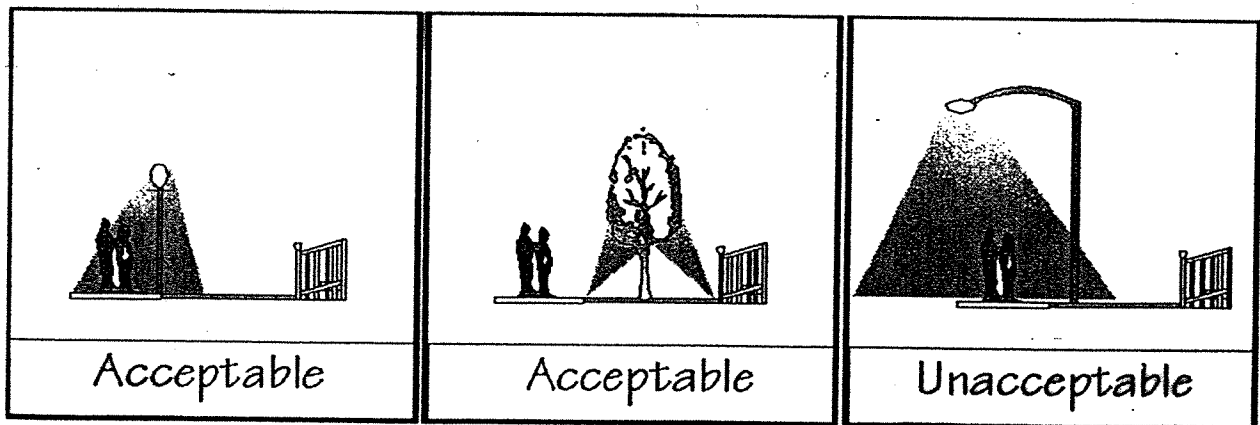
#### A. LIGHTING

##### Goals

- Enhancement of the streetscape, protection of night sky view, and reduction of unwanted glare.

##### Area-wide lighting

Site area-wide lighting should be restricted and not extend past the property lines. Direct lighting with minimal spillover is encouraged and should be shielded (see **Figure 2**).



**Figure 2.** Lighting Kept At A Pedestrian Scale Enhances The Streetscape And Reduces Unwanted Glare.

##### Landscape lighting

Any ornamental landscape lighting should be low intensity and designed to focus on specimen plants or architectural features.

##### Type lighting

Florescent, dusk to dawn, sodium vapor and similar lights shall be prohibited for area lighting.

### Commercial and Industrial lighting

Lighting for commercial and industrial uses should be at a uniform level to assure safety and security at night.

Excessive illumination of the signage, buildings or site shall be avoided. Roof lighting, down-lighting washing the building walls, or illuminated awnings are all strongly discouraged.

## **B. SIGNS**

### Goals

- To ensure adequate and attractive advertising and informational signs.

### Materials

Wood, wood-like, masonry or masonry-like materials are preferred for exterior signs rather than plastic.

### Lighting

Neon and internally illuminated signs located outside of or on buildings shall be prohibited, relying instead on exterior illuminated signs.

Internal lighting, such as used with an opaque surface within a frame backed by fluorescent light tubes, is prohibited.

### Height

Signs should be kept at a pedestrian and vehicle level. Signs should be placed on buildings with the top of the sign being no higher than 10 feet from ground level.

### Size

Within the Central Business Area, signage should be ½ square foot per lineal foot of building frontage.

Within the “Y” area, signs should be 30 square feet or less in size.

Signs within the Neighborhood Mixed Use area should be four square feet or less and be discrete. These signs should “identify” rather than “advertise” the business. Signs within this area should be incidental and incorporated into the landscaping and the building lighting.

On historic or locally known buildings, a structure sign identifying the name of the structure and date of construction is encouraged on buildings. The signs should not exceed four (4) square feet and must be attached to the face of the building. Structure identification signs should not be considered "signage" for calculation of allowable sign area.

### Colors

Sign colors are to be complementary to the colors of the building on the property.

### Types of Signs

Within the Central Business Area, freestanding pole signs are prohibited.

Spray paint and stenciled signs are not permitted.

Awning signs, or signs under building porches may be allowed in addition to the primary signage provided that the sign is:

- a. less than one foot high by three feet long.
- b. suspended perpendicular to the travel way if mounted under an awning along the sidewalk or pedestrian way.
- c. suspended parallel to the travel way if mounted under a porch covering.
- d. not illuminated by direct lighting. Indirect lighting in conjunction with landscaping or building lighting is acceptable. Interior lighting of signs is not allowed.
- e. advertising the name of the business only.
- f. made of wood, or simulated wood.
- g. signs under the same awning within the same building must be of similar materials, colors, signs, and type face.

Freestanding signs such as A-Board and I-Board may be permitted with the following restrictions:

- a. Sign shall be temporary and removed at the close of business each day.
- b. Sign shall be placed to allow a minimum of three (3) feet clearance on the sidewalk, path or walkway.
- c. Only one (1) sign shall be permitted per business.
- d. Only businesses within the building may be advertised.
- e. Electric, lighted or motion signs are prohibited.
- f. Sign shall be thirty (30) inches or less in height.

When permitted, murals should be discrete, providing an enhancement rather than advertising in the Central Business Area. Specifically, any new murals should:

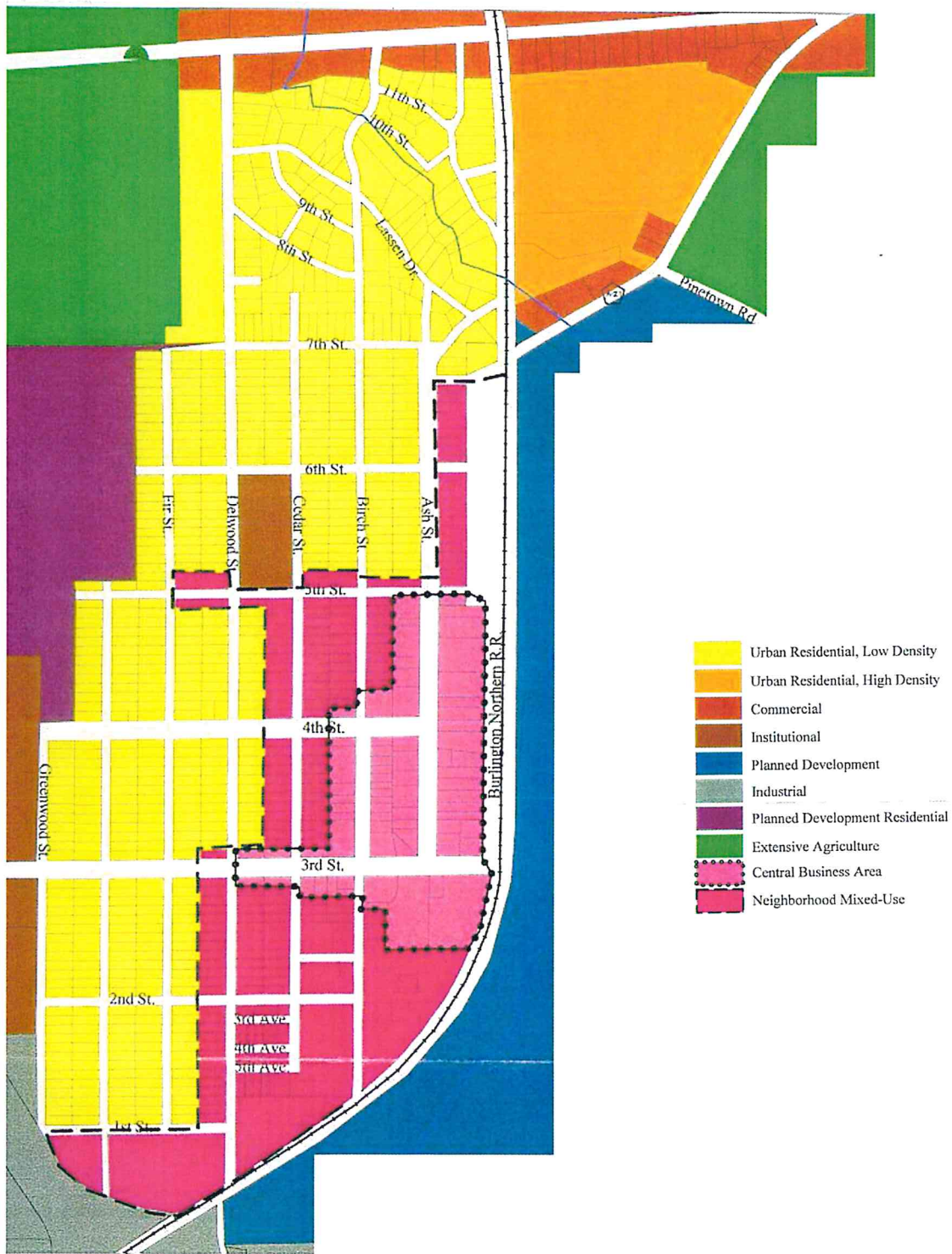
- a. Be historic or depict a natural scene rather than commercial in nature.
- b. Be subdued in terms of colors and texture.
- c. Provide information on the community or region.
- d. Have a business or community group responsible for maintenance.

### **Multiple Signs**

**Multiple signs on the same building should have similar color schemes, typefaces, and be arranged along the same horizontal line.**

## APPENDIX

## MAP OF THE COMMUNITY OF WESTWOOD (Portion)\*



\* Pinetown and other portions of the Westwood Community are not shown on this map.  
An update of this map will include these areas.

## LASSEN COUNTY DESIGN REVIEW PROCESS

In any zoning district incorporating a "D" Combining District, or any other district requiring design review, approval of an application for design approval shall be secured for the construction of any building or structure. The intent of design review is to ensure that buildings, structures and improvements are designed and constructed so that they will not be of unsightly, undesirable, or obnoxious appearance to the extent that they will hinder the orderly and harmonious development of a community or the county, or otherwise affect the general prosperity and welfare.

### APPLICATION

An application form for design approval is available from the Planning Department. This application must be completed by the applicant or his/her agent and submitted to the Planning Department along with three sets of plans of the proposed project. Two copies of the plans may be picked up after the design review process is completed. The information needed on the plans is described on the application form. Filing fees are as follows: \$63.00 for Single-Family Residential; \$95.00 for Multi-Family Residential and Commercial; \$127.00 for Multi-Unit Commercial.

### A.R.C.

The Architectural Review Committee (A.R.C.), consisting of the County Planning Director (who shall act as chairman of the committee), the County Building Inspector, and a Planning Commissioner, to be appointed annually by the Chairman of the Planning Commission, shall convene within 15 working days to consider the application. The A.R.C. shall move to either accept the application as submitted or shall suggest any changes in the plans as it may deem necessary to accomplish the purpose of the Design Review District. The A.R.C. shall not approve any plans until it is satisfied that such purposes will be accomplished.

### APPEALS

In case the applicant is not satisfied with the action of the A.R.C., he may, within thirty (30) days after such action, appeal in writing to the Planning Commission. The Commission shall hold a hearing on said appeal and shall render its decision within thirty (30) days after the filing. In case the applicant is not satisfied with the action of the Planning Commission, the applicant may, within ten (10) days after such action, appeal in writing to the Board of Supervisors. The Board shall hold a hearing on the appeal and shall render its decision within thirty (30) days after the filing.

For additional information regarding the design review process, contact the Lassen County Planning Department, 707 Nevada Street, Suite 5, Susanville, California 96130. Phone (530) 251-8269.

Suggested attachment:            Application for Design Approval

(Rev. 2/99) Files\125\DRProcess



## CHAPTER 18.118

### DESIGN REVIEW

**18.118.010.** Design Review shall be required for buildings, structures, or other external improvements including, but not limited to, landscaping, fences and parking areas in "D" Design Combining Districts, or as otherwise required by this Title, to ensure that the visual impacts of such projects will not be adverse to the public or general neighborhood, hinder the orderly and harmonious development of the County, or otherwise affect the general prosperity and welfare of its residents. Design Review may also be required as a condition of Use Permits or Planned Development Permits, or as a method to implement standards in the General Plan, an Area Plan, or a Specific Plan, or as otherwise deemed necessary.

**18.118.020.** Consideration of the design application shall include: (1) conformance with the specified intent or criteria of certain applicable districts or uses; (2) standards and provisions of the General Plan or any applicable Area Plan; (3) conformance with an applicable specific plan; or (4) conditions specified in applicable Use Permits or Planned Unit Development Permits. To these ends, design review shall serve as a format to suggest any changes in the plans of such proposed buildings, structures and other improvements as may be deemed necessary to accomplish the purpose of this Chapter. No plan shall be approved until the county is satisfied that such purposes will be accomplished.

#### **18.118.030. Application.**

Application for Design Review shall be made in writing on a form prescribed by the Planning Department, and shall be accompanied by plot plans, drawings or sketches showing the elevations of the proposed building or design of other external improvements. Two copies of application forms and supplemental graphics shall be submitted to the Planning Department.

The application, when complete, shall serve as documentation of the proposed design of the project as it will appear after the work has been completed. Approval of the application shall only apply to the design as presented therein and substantial deviation from a design as approved shall require amendment of the application or submittal of a new application.

#### **18.118.040 Design Review.**

The Architectural Review Committee (A.R.C.) shall consist of the Director of Community Development, who shall act as chairman, the County Building Official, and a Planning Commissioner to be appointed annually by the Chairman of the Planning Commission. The A.R.C. shall review all design review applications, except as herein provided, within fourteen (14) days from acceptance of the application. The A.R.C. may either approve the application as submitted or shall suggest any changes in the plans as it may deem necessary to accomplish the purpose of the Design District or applicable standards. The A.R.C. may refer any application to the Planning Commission for decision. In such case, the Planning Commission shall hold a hearing on said application and shall render its decision thereon within 30 days after completion

of the hearing. Any such application referred to the Planning Commission for decision shall be subject to the appeal provisions contained in Section 18.118.060.

In the case of designs for the construction or exterior remodeling of single family dwellings and/or accessory structures, or minor remodeling of any structure within a Design Combining District or otherwise subject to Design Review, the Department of Community Development may review the application using as its criteria the intent of the District as herein described or referenced and any appropriate guidelines that may be formulated through the A.R.C. for the purpose of review. The Department may, within five working days, approve the Design Review application when satisfied that the design accomplishes the intent of the review. The Department may refer any application to the A.R.C. for Decision. Any such application referred to the A.R.C. for decision shall be subject to the appeal provisions contained in Section 18.118.060.

A copy of all approved Design Review applications shall be forwarded to the Building Official. (Ord. 467-X, 1999).

#### 18.118.050. Waiver of Design Review.

Design Review may be waived for minor exterior remodeling or repair projects when, upon examination of the plans, it can be determined that the work will not constitute a significant change or have a substantial visual impact upon the appearance of a structure as exposed to the general public and neighborhood (e.g., replacement of foundation, steps, construction of decks and patios screened from public view, or for any additions designed to match the colors and materials of existing structures). (Ord. 467-W, 1998).

#### 18.118.060. Appeal.

Following shall be the appeal procedure for Design Reviews performed in accordance with this chapter.

1. If the applicant is not satisfied with the action of the Department of Community Development, s/he may request that the A.R.C. review the design. The A.R.C. shall review and render its decision upon such applications within 14 days of the request.
2. If the applicant is not satisfied with the action of the A.R.C., s/he may, within 30 days after such action, appeal in writing to the Planning Commission. The Planning Commission shall hold a hearing on said appeal and shall render its decision thereon within 30 days after completion of the hearing. Any appeal hearing shall be de novo.
3. If the applicant or any interested person is not satisfied with the action of the Planning Commission, s/he may, within ten days after such action, appeal in writing to the Board of Supervisors. The Board shall hold a hearing on said appeal and shall render its decision thereon within 30 days after completion of the hearing. Any appeal hearing shall be de novo. (Ord. 467-X, 1999).

