

JANESVILLE  
GENERAL PLAN AMENDMENTS 1993

RESOLUTION NO. 93-58

RESOLUTION ADOPTING AMENDMENT OF THE LASSEN COUNTY GENERAL PLAN AS IT PERTAINS TO THE AREA LOCATED WITHIN THE JANESVILLE FIRE PROTECTION DISTRICT

BE IT RESOLVED by the Board of Supervisors of the County of Lassen as follows:

WHEREAS, on November 26, 1968, the Lassen County Board of Supervisors adopted the Lassen County General Plan; and

WHEREAS, on June 7, 1977, the Board of Supervisors adopted Ordinance 293A-21 to establish specific zoning within the territory of the Janesville Fire Protection District; and

WHEREAS, said zoning was adopted to more effectively regulate land use within the Janesville Fire Protection District; however, the General Plan was not amended to correspond with the new zoning; and

WHEREAS, the Board of Supervisors recognizes the need to amend the General Plan to strengthen the relationship between the 1968 General Plan and the zoning adopted in 1977; and

WHEREAS, the Board of Supervisors has directed that such a General Plan Amendment be prepared; and

WHEREAS, on April 14, 1993, the Lassen County Planning Commission held a public hearing on the proposed General Plan Amendments; and

WHEREAS, the Planning Commission has recommended to the Board of Supervisors that said General Plan Amendment be approved; and

WHEREAS, the proposed amendments would not result in changes in the present or planned land use of the area; and

WHEREAS, it is appropriate that the Environmental Impact Report prepared for the 1977 Janesville Zoning Plan shall serve as the environmental document for this project.

NOW, THEREFORE, BE IT RESOLVED that the Board of Supervisors finds that the proposed amendments to the Lassen County General Plan provide for consistency between said General Plan and the existing zoning on lands located within the Janesville Fire Protection District; and

BE IT FURTHER RESOLVED that the Board finds that the proposed amendments, in conjunction with the zoning adopted in 1977, provide for appropriate patterns and intensities of

land use and land use policies that will serve to protect and provide for the health, safety, peace, morals, comfort and general welfare of the Janesville area and are hereby deemed approved.

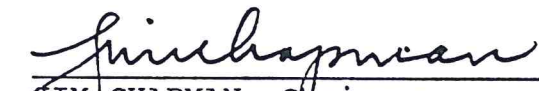
The foregoing Resolution was adopted at a regular meeting of the Board of Supervisors of the County of Lassen, State of California, held on the 11th day of May, 1993, by the following vote:

AYES: . Supervisors Chapman, Neely, Loubet, Lemke, Lough

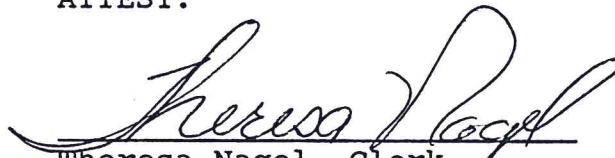
NOES: None

ABSTAIN: None

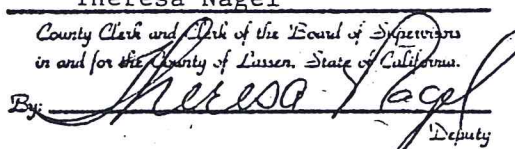
ABSENT: None

  
JIM CHAPMAN, Chairman  
Lassen County Board of Supervisors

ATTEST:

  
Theresa Nagel, Clerk  
Board of Supervisors

The foregoing instrument is a true and correct copy of the original on file in this office.  
Dated: 5-12-93

Theresa Nagel  
County Clerk and Clerk of the Board of Supervisors  
in and for the County of Lassen, State of California.  
By:  Deputy

Lassen County Planning Commission  
Lassen County Board of Supervisors  
Staff Report  
April 14, 1993  
April 27, 1993

APPLICATION: General Plan Amendment #760.18  
NAME: County of Lassen  
ASSESSOR'S PARCEL NO.: Numerous  
ZONING: Various

PROJECT DESCRIPTION

In 1977, the Lassen County Board of Supervisors adopted the Janesville Rezoning Plan. The purpose of the plan was to more effectively regulate land uses on lands located within the Janesville Fire Protection District by replacing the predominant A-1 zoning with a number of precise zoning districts.

Although the zoning adopted in 1977 was, in most cases, consistent with the land use and policy specified in the 1968 Lassen County General Plan, the zoning adopted for certain portions of the planning area does conflict with the General Plan in some instances. One of the most prevalent examples involves the adoption of A-2 (Agricultural-Residential) zoning for lands designated by the General Plan as "Crop Land and Prime Grazing Land" or "Prime Recreation Area."

The proposed General Plan Amendment involves amending the 1968 Lassen County General Plan to correspond with the zoning adopted for the Janesville area in 1977. The amendment is not proposed to result in changes in existing zoning or land use, but is rather intended to bring about consistency between the General Plan and the current zoning. The proposed amendments include changes to the land use map, as well as adoption of additional policies and implementation measures needed to maintain internal consistency between the land use map and text of the plan.

The following outline provides a summary of the proposed land use designations that correspond with the existing zoning in Janesville area. The current proposal would involve changing the land use designation on the General Plan land use map to correspond with the zoning which was adopted in 1977. This list is not meant to be exclusive and zoning districts not listed below may be consistent under varying circumstances.



GENERAL PLAN  
DESIGNATIONS

TYPICAL CORRESPONDING  
ZONING DISTRICTS

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Residential

- |    |                          |   |
|----|--------------------------|---|
| 1. | Urban                    | "R-1" Single Family Residential<br>"R-2" Limited Multiple-Family Residential<br>"R-3" Multiple-Family Residential |
| 2. | Estate                   | "R-1" Single Family Residential   |
| 3. | Rural Residential        | "A-2" Agricultural-Residential, 3-20 acre minimum building sites  |
| 4. | Agricultural-Residential | "A-2" Agricultural-Residential, 20-40 acre minimum building sites   |

Commercial

- |    |                    |  |
|----|--------------------|--|
| 1. | Commercial         | "C-G" General Commercial<br>"C-1" Retail Business District<br>"C-2" General Commercial |
| 2. | Highway Commercial | "C-H" Highway Commercial   |

Public Land and Facilities

- |    |               |                     |
|----|---------------|---------------------|
| 1. | Open Space    | "O-S" Open Space    |
| 2. | Institutional | "I-1" Institutional |

Natural Resources

- |    |                            |  |
|----|----------------------------|--|
| 1. | Intensive Agriculture      | "E-A" Exclusive Agriculture District<br>"A-3" Agricultural District                  |
| 2. | Extensive Agriculture      | "U-C" Upland Conservation<br>"A-3" Agricultural District                             |
| 3. | General Forest Environment | "U-C" Upland Conservation<br>"TPZ" Timber Production Zone<br>"F-R" Forest Recreation |
| 4. | Open Space                 | "O-S" Open Space<br>"O-D" Primitive Area District                                    |

To maintain internal consistency between the land use map and the text of the General Plan, it is recommended that the following policy be adopted.

## PUBLIC LANDS

### Policy

- Lands under public ownership are designated on the land use map for the current and potential uses most appropriate for the resource values or orderly development potential they contain.

### Implementation

- Public lands shall be zoned in a manner consistent with the designated land uses of the land use map. In general, public land should be zoned "O-S", Open Space or "I-1", Institutional.

## TIMBERLANDS

### Policy

- The County shall conserve timberland resource areas suitable for commercial operations and shall protect these areas from incompatible land uses. Timberland resource areas shall be designated on the land use map as General Forest Environment.

### Implementation

- Lands designated as General Forest Environment shall be zoned "TPZ", Timber Production Zone, or "U-C", Upland Conservation.

## AGRICULTURAL LANDS

### Policy

- Agricultural land in the Janesville area should be protected for its economic importance, its contribution to the character of the community, and its environmental values. Agricultural lands in the Planning Area shall be designated as either Intensive or Extensive Agriculture.
- Parcels should be retained at sufficient sizes for productive economic agricultural use.

### Implementation

- Where dense residential or commercial development is proposed for lands adjacent to lands devoted to agricultural production, the non-agricultural users should incorporate buffer setbacks and/or construct natural screens to mitigate potential land use conflicts.

- Non-agricultural uses should be directed to areas with soils of limited value for agricultural use or to areas where similar uses already exist. Non-agricultural uses shall not interfere with agricultural operation.
- Lands designated Intensive Agriculture shall be zoned "A-3", Agricultural District or "E-A", Exclusive Agriculture.
- Lands designated as Extensive Agriculture shall be zoned "A-3", Agricultural District or "U-C", Upland Conservation.

Policy: Residential Land Use

- Lassen County shall provide an adequate supply of land for housing and will accommodate a mix of residential opportunities, both in type and cost, consistent with the goals of this plan and the County-wide housing element.

Policy: Urban Residential

- Limited land suitable for urban residential uses exists within the planning area due to a lack of necessary infrastructure, physical site constraints, and character of the area.
- To retain the rural character of the Janesville area, urban residential uses should be limited to those already existing the area. These areas are shown on the land use map.

Implementation: Urban Residential

- Lands designated as Urban Residential on the land use map shall be zoned "R-3", Multiple Family Residential.

Policy: Estate Residential

- Estate residential uses should only be allowed in designated areas where existing uses, parcel sizes, or physical features make them unsuitable for agriculture or other forms of residential uses. Additionally, estate residential uses shall not be allowed where they will conflict with agricultural, resource, wildlife, or safety objectives.

Implementation: Estate Residential

- The areas designated as Estate Residential on the land use map shall be zoned "R-1", Single Family Residential.



Policy: Rural Residential

- Rural residential uses are the primary type of residential development in the Janesville area. This type of residential use serves to preserve the area's rural character and recognizes the area's physical constraints such as ground water availability and suitability of soils for use of individual sewage disposal systems.
- Rural residential uses should not be allowed where they will conflict with agricultural, resource, wildlife, or safety objectives.

Implementation: Rural Residential

- Lands designated on the land use map as Rural Residential shall be zoned "A-2", Agricultural Residential.

Policy: Agricultural Residential

- Agricultural Residential use shall be applied to areas in which parcels of unsuitable size for typical agricultural operations already exist. Due to the remote location, development constraints or the potential to continue agricultural operations, these lands should not be allowed to develop into more intensive land use. Minimum parcel size is 20 acres.

Implementation: Agricultural Residential

- Lands designated as Agricultural Residential shall be zoned "A-2", Agricultural Residential.

Policy: Commercial

- Lassen County should designate enough land for commercial use to meet existing and future needs of the area's population. Janesville is designated as a Town Center and is considered the appropriate location for commercial development in the area.

Implementation: Commercial

- Lands designated on the land use map as Commercial are zoned "C-G", General Commercial, "C-1", Retail Business District, or "C-2", General Commercial.

Policy: Highway Commercial

- Lassen County should designate lands at carefully selected locations along state highways as Highway



Commercial.

Implementation: Highway Commercial

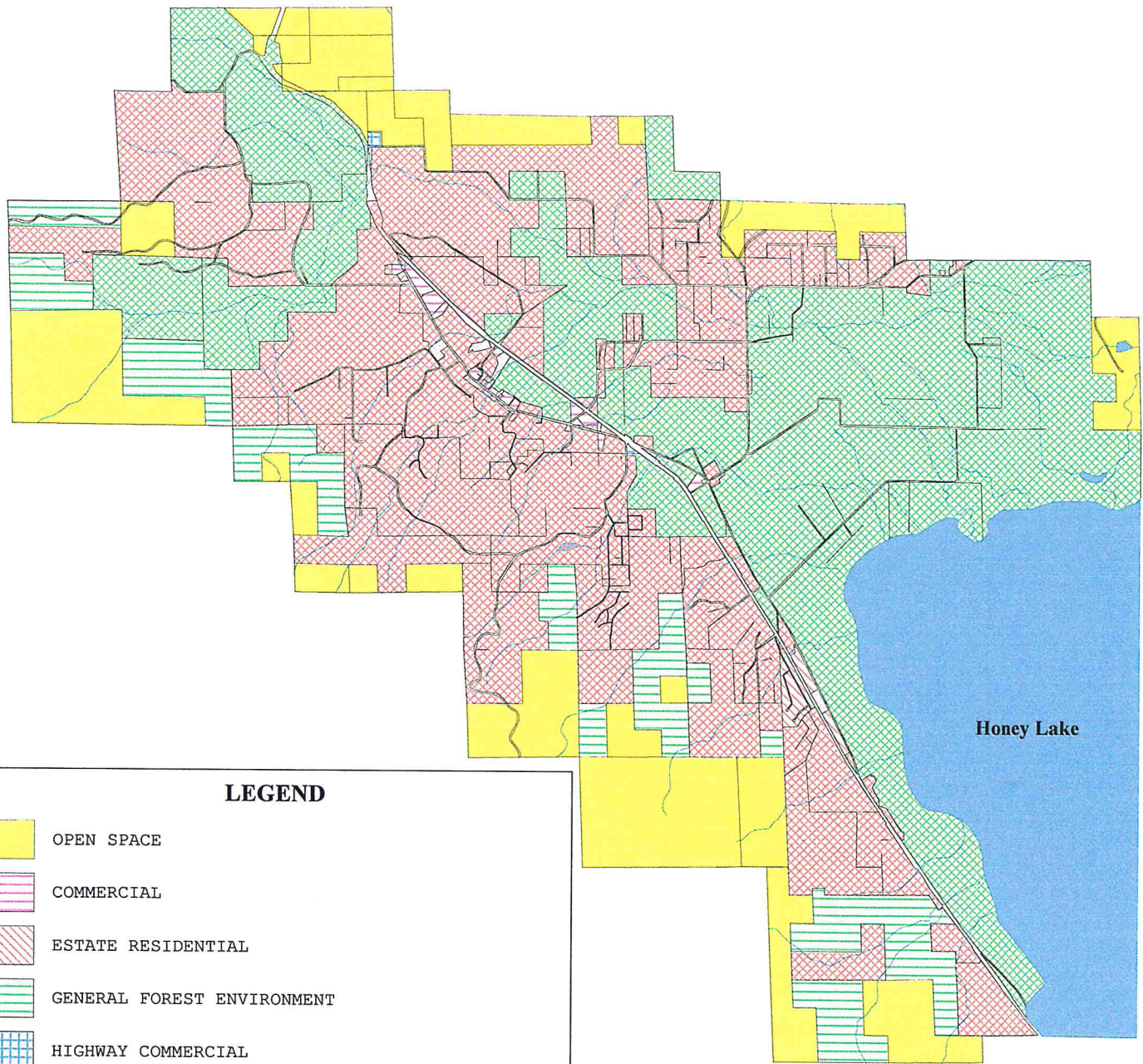
- Permit highway commercial uses only where consistent with the other goals, policies, and recommendations of the General Plan, especially policies pertaining to scenic highway corridors. Such commercial locations are to be zoned "C-H", Highway Commercial.

ENVIRONMENTAL DOCUMENT










The Environmental Impact Report prepared for the 1977 Janesville Rezoning Plan will serve as the environmental document for this project.

# JANESVILLE PLANNING AREA

## GENERAL PLAN



### LEGEND

-  OPEN SPACE
-  COMMERCIAL
-  ESTATE RESIDENTIAL
-  GENERAL FOREST ENVIRONMENT
-  HIGHWAY COMMERCIAL
-  INSTITUTIONAL
-  INTENSIVE AGRICULTURE
-  RURAL RESIDENTIAL
-  URBAN RESIDENTIAL



Adopted May 11, 1993, by Lassen County  
Board of Supervisors, Resolution No. 93-58.

Miles

